

# " Alteration 102 Norman Avenue "

102 Norman Avenue, Brooklyn, NY 11222



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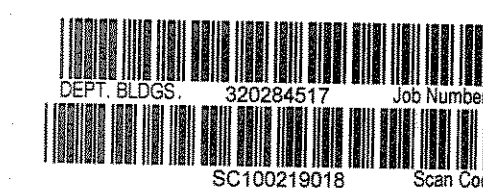


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ACCEPTABLE FOR PERMIT  
 UNDER DIRECTIVE NO. 14/1975

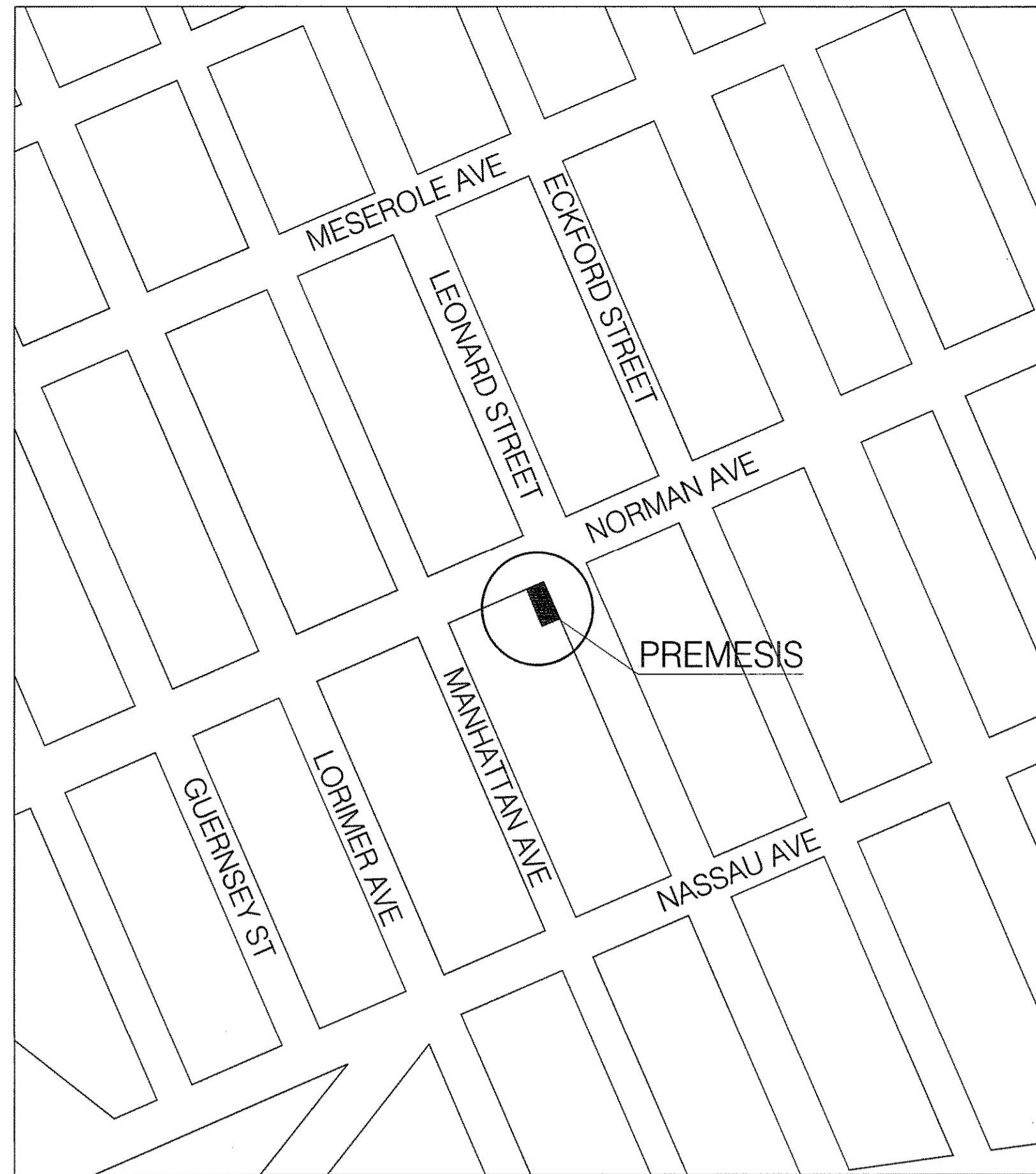
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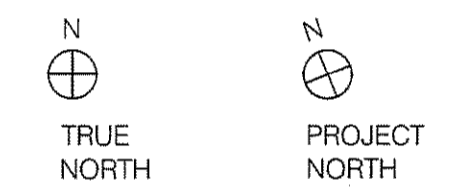
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Drawing No <b>T-001.00</b>	Drawing Title <b>TITLE SHEET</b>	Drawing No. 01 of 03 Date 3.11.2011	Revisions No. Date By Description
Proj Code <b>B-NOR.102</b>			





01 OVERVIEW PLAN  
SCALE: N.T.S.



**GENERAL NOTES**

01. ALL REFERENCES TO THE 'BUILDING CODE' OR 'THE CODE' SHALL REFER TO THE 1968 BUILDING CODE OF THE CITY OF NEW YORK UNLESS OTHERWISE STATED.

02. CONTRACTORS SHALL COMPLY WITH ALL REQUIREMENTS OF NEW YORK CITY BUILDING CODES, STATE LABOR LAW, AND ALL REGULATIONS OF NEW YORK CITY AND STATE. ALL PERMITS SHALL BE PROPERLY DISPLAYED.

03. MEANS OF EGRESS SHALL BE KEPT UNOBSTRUCTED AT ALL TIMES.

04. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS, APPROVALS, TESTING AND INSPECTIONS AS MAY BE REQUIRED BY THE DEPARTMENT OF BUILDINGS, ENVIRONMENTAL PROTECTION AGENCY, AIR RESOURCES, AND THE FIRE DEPARTMENT AS PER 27-147, 27-180, 27-185, 27-793 OF THE CODE.

05. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED DEPARTMENT OF BUILDINGS PERMITS PRIOR TO THE START OF WORK.

06. ALL MATERIALS OR ASSEMBLIES REQUIRED TO HAVE A FIRE RESISTANCE RATING SHALL COMPLY WITH ONE OF THE FOLLOWING:  
 A. IT SHALL CONFORM WITH NFPA 'FIRE RESISTANCE RATINGS DECEMBER 1964 OR,  
 B. IT SHALL HAVE BEEN TESTED IN ACCORDANCE WITH ASTM E-119 - 1961, 'STANDARD METHODS OF FIRE TESTS OF BUILDING CONSTRUCTION AND MATERIALS' AND ACCEPTED BY THE COMMISSIONER  
 OR,  
 C. IT SHALL HAVE BEEN ACCEPTABLE PRIOR TO THE EFFECTIVE DATE OF THE CODE.

07. ALL CONCEALED SPACES WITHIN PARTITIONS, WALLS, FLOORS, ROOFS, STAIRS, FURRING, PIPE SPACES, COLUMN ENCLOSURES, ETC. THAT WOULD PERMIT PASSAGE OF FLAME, SMOKE, FUMES, OR HOT GASES FROM ONE FLOOR TO ANOTHER SHALL BE PROPERLY FIRESTOPPED AS PER 27-345. MATERIALS ACCEPTABLE FOR FIRESTOPPING SHALL BE ROCKWOOL, MINERAL WOOL, NON-COMBUSTIBLE MATERIAL, SHEETMETAL .022 THICK (MIN.), GYP. BOARD TYPE 'X' AS PER SUBCHAPTER 5.

08. INTERIOR FINISHES TO HAVE FLAME SPREAD RATINGS AS PRESCRIBED IN ASTM E-84-1961 'STANDARD METHOD TEST FOR SURFACE BURNING CHARACTERISTICS OF BUILDING MATERIALS 27-348.

09. THE FOLLOWING ARE ITEMS OF SPECIAL INSPECTION:  
 A. FIRE STOPS AS PER SECTION BC 1704.25  
 B. STRUCTURAL STEEL - ERECTING AND BOLTING AS PER SECTION BC 1704.3.2  
 C. CONCRETE - CAST IN PLACE AS PER SECTION BC 1704.4  
 D. STRUCTURAL SAFETY - STRUCTURAL STABILITY AS PER SECTION BC 1704.19

10. THE FOLLOWING ARE ITEMS OF PROGRESS INSPECTIONS:  
 A. FOOTING AND FOUNDATION AS PER SECTION BC 109.3.1  
 B. FINAL INSPECTION (DIR 14)

**TENANT SAFETY PLAN:**

1. THE BUILDING CONTAINS TWO DWELLING UNITS WHICH WILL BE OCCUPIED DURING CONSTRUCTION.

2. EGRESS: DURING THE COURSE OF CONSTRUCTION EGRESS FROM ALL FLOORS WILL BE MAINTAINED AT ALL TIMES.

3. FIRE SAFETY: ALL REQUIRED PRECAUTIONS WILL BE TAKEN TO PROVIDE FIRE SAFETY DURING CONSTRUCTION.

4. HEALTH REQUIREMENTS: DUST SHALL BE KEPT AT A MINIMUM AND SHALL BE REMOVED AT THE END OF EACH WORKING DAY. CONSTRUCTION DEBRIS SHALL BE DISPOSED IN A SAFE MANNER. CONSTRUCTION NOISE WILL BE CEASED AFTER NORMAL WORKING HOURS. NOISE SHALL BE LIMITED TO ACCEPTABLE LIMITS. SANITARY FACILITIES SHALL BE PROVIDED AT ALL TIMES. PEST CONTROL SHALL BE PROVIDED AT ALL TIMES DURING THE COURSE OF CONSTRUCTION.

5. THE CONTRACTOR SHALL COMPLY WITH APPLICABLE LAWS RELATING TO LEAD AND ASBESTOS. IN CASE LEAD OR ASBESTOS ARE FOUND THE OWNER OR ARCHITECT SHALL BE INFORMED IMMEDIATELY.

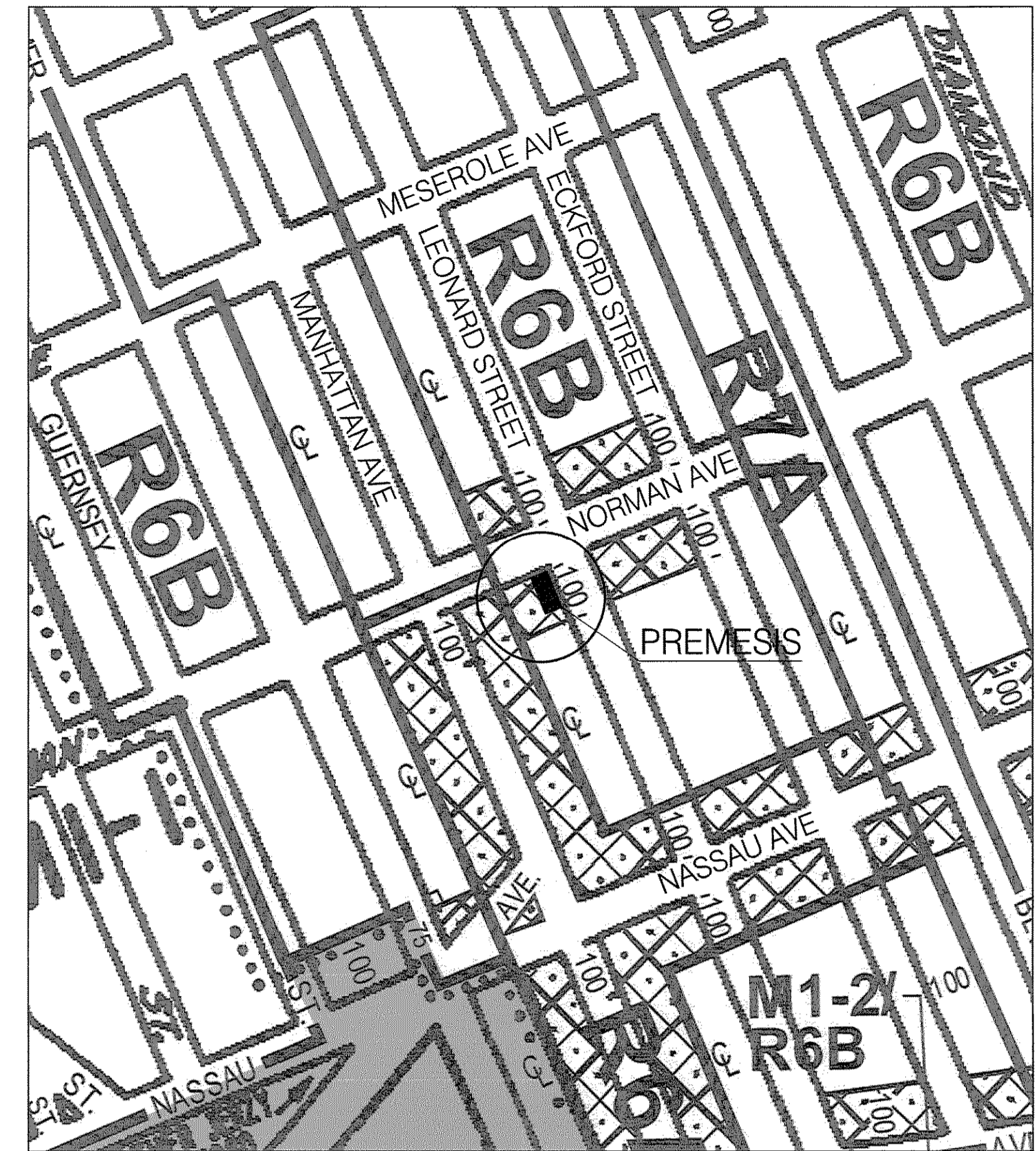
6. ELECTRICAL, GAS OR OTHER UTILITIES SHALL NOT BE INTERRUPTED DURING CONSTRUCTION.

7. BUILDING SECURITY SHALL BE MAINTAINED TO PREVENT UNAUTHORIZED PERSONS FROM ENTERING THE BUILDING.

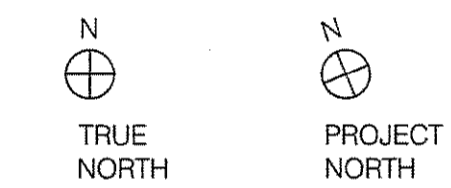
8. FLOORS SHALL NOT BE OVERLOADED BEYOND PERMISSIBLE LIMITS.

9. NO STRUCTURAL WORK SHALL BE PERFORMED WHICH MAY ENDANGER THE OCCUPANTS.

10. THE REQUIREMENTS OF THE NYC HOUSING MAINTENANCE CODE AND MULTIPLE DWELLING LAW SHALL BE STRICTLY OBSERVED.



02 ZONING MAP  
SCALE: N.T.S.



ZONING MAP: 13a  
BLOCK/LOT: 2647/ 8  
ZONING DISTRICT: R6A/ C2-4

EXISTING EXITS: NO CHANGE

EXISTING USE: NO CHANGE

EXISTING OCCUPANCY: NO CHANGE

**JOB DESCRIPTION:**  
REPAIR AND RECONFIGURE INTERIOR PARTITIONS AND DOORS AS PER PLANS TO COMPLY WITH BUILDING CODE. NO CHANGE IN OCCUPANCY, USE, EGRESS.

**SPECIAL/ PROGRESS INSPECTIONS:**

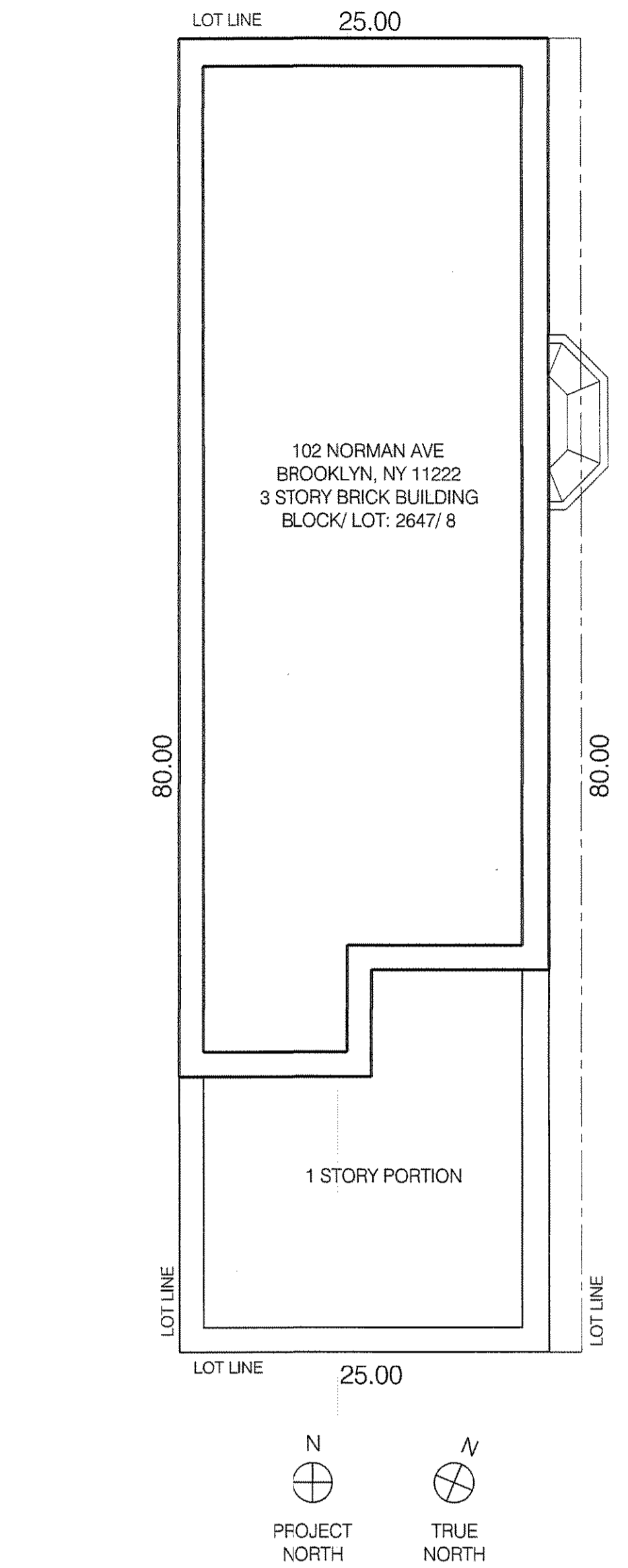
P1. FIRE-RESISTANCE RATED CONSTRUCTION BC 109.3.4  
P2. FINAL INSPECTION DIRECTIVE 14

**ECCNYS COMPLIANCE NOTE**

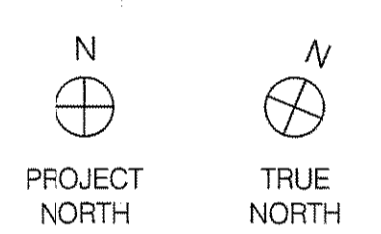
THE WORK PROPOSED IN THIS APPLICATION IS EXEMPT FROM THE ECCNYS BECAUSE AS PER CHAPTER 1 OF THE ECCNYS IT IS AN ALTERATION, BUT NOT A SUBSTANTIAL ALTERATION. THE PROPOSED WORK COMPLIES WITH ECCNYS 101.4.4.3

**ENVELOPE:**  
NO CHANGE OF EXTERIOR WALLS  
NO CHANGE OF WINDOWS.

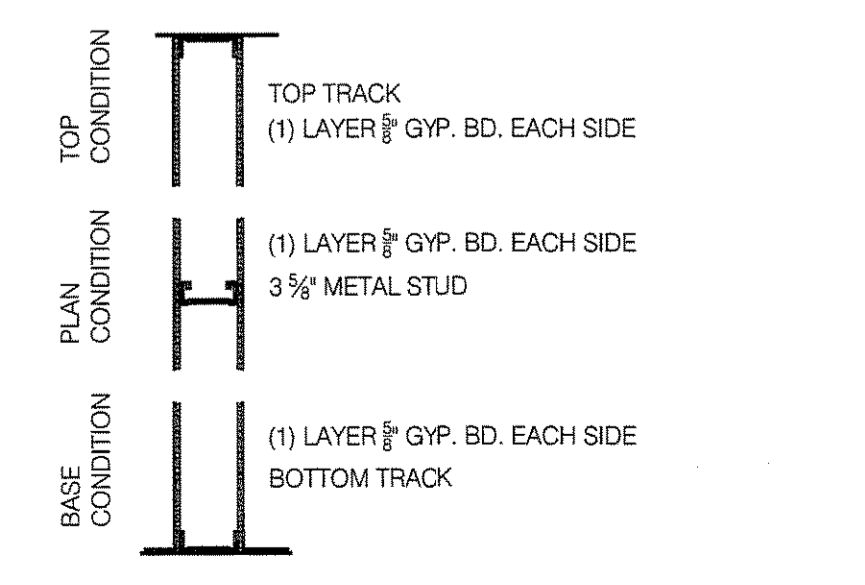
THEREFORE ECCNYS 101.4.4.3 APPLIES  
NO ECCNYS COMPLIANCE REQUIRED



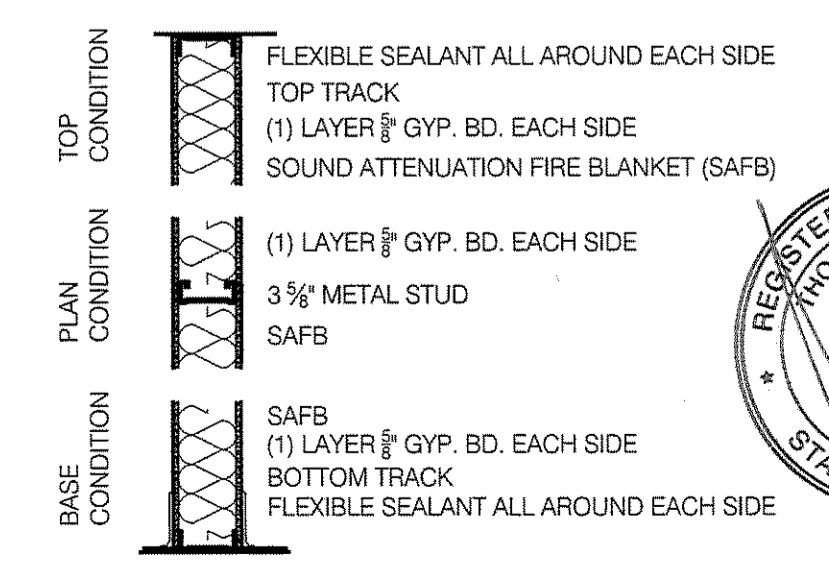
03 PLOT PLAN  
SCALE: N.T.S.



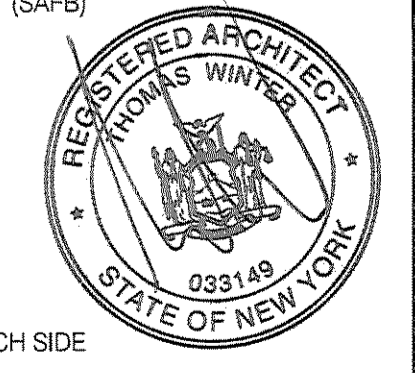
- LEGEND**
- EXISTING WALL
  - EXISTING PARTITION TO BE REMOVED
  - PROPOSED WALL
  - 1 HR. FIRE RATED WALL
  - F.P.S.C FIRE PROOF SELF CLOSING DOOR
  - DOOR W/SIZE
  - TOILET
  - RANGE
  - REFRIGERATOR
  - BATHTUB
  - SINK
  - AREA OF WORK



INTERIOR NON BEARING	FIRE RATING	U.L. NO.	WALL THICKNESS ON PLAN	ACTUAL
5	NOT RATED	N.A.	5"	5 1/8"



INTERIOR NON BEARING	FIRE RATING	U.L. NO.	WALL THICKNESS ON PLAN	ACTUAL
6	1 HR.	U-419	5"	5 1/8"



ACCEPTABLE FOR PERMIT UNDER DIRECTIVE NO. 14 OF 875  
MAR 15 2011  
RUDOLPH GOVIA

The Contractor shall check all drawings furnished to him immediately upon their receipt and shall be responsible for any errors or omissions. The Contractor shall compare all drawings with the general government scale drawings. The Contractor shall compare all drawings and verify the figures before laying out the work and will be responsible for any errors which might have been avoided thereby.

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Alteration  
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Notes, Maps

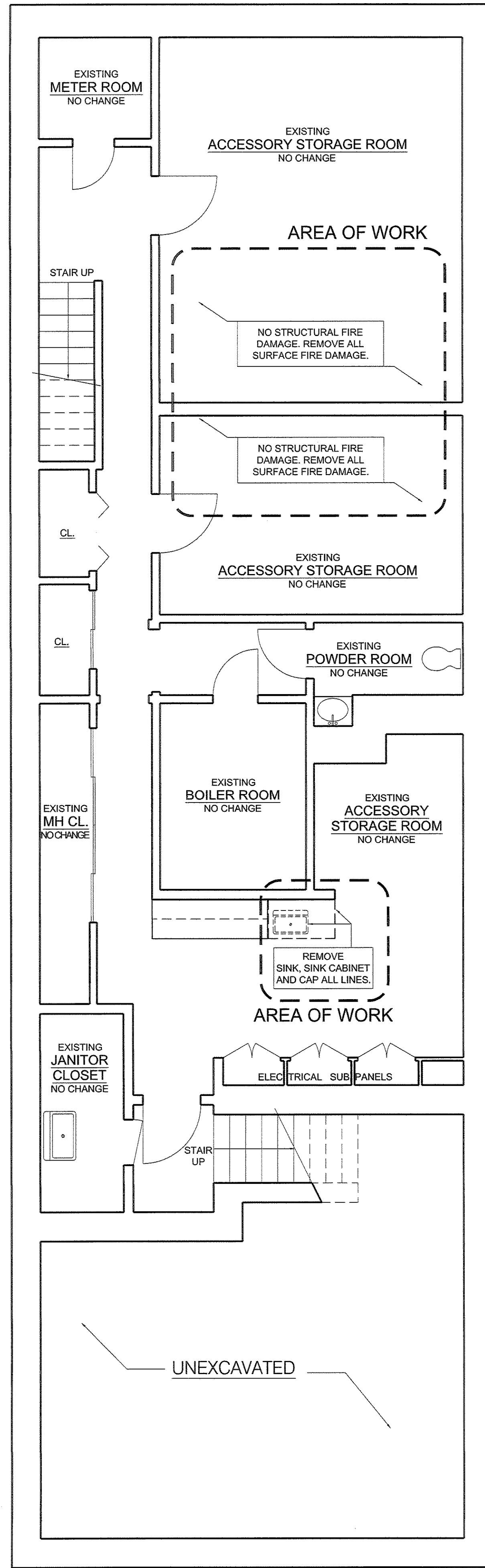
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B-NOR.102

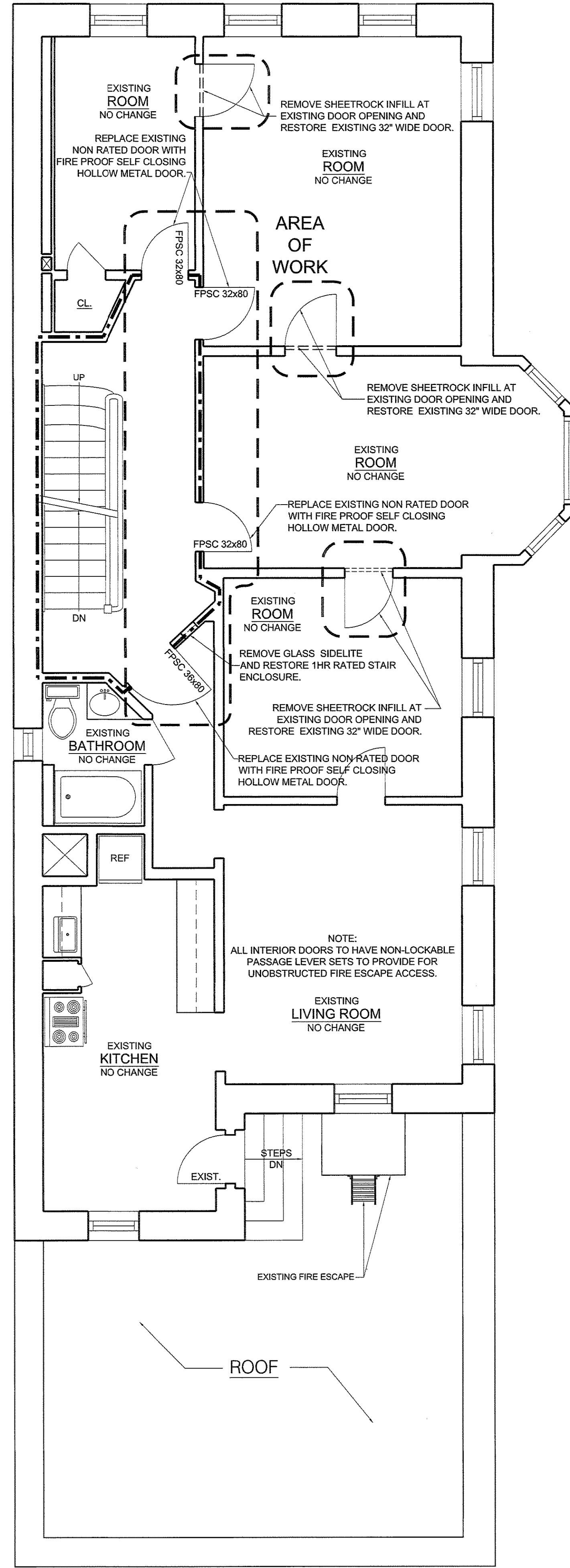
Scale	AS NOTED	MIN	MAX	Date
02 of 03				3.11.2011

Project No. Description  
Revision No. Date By

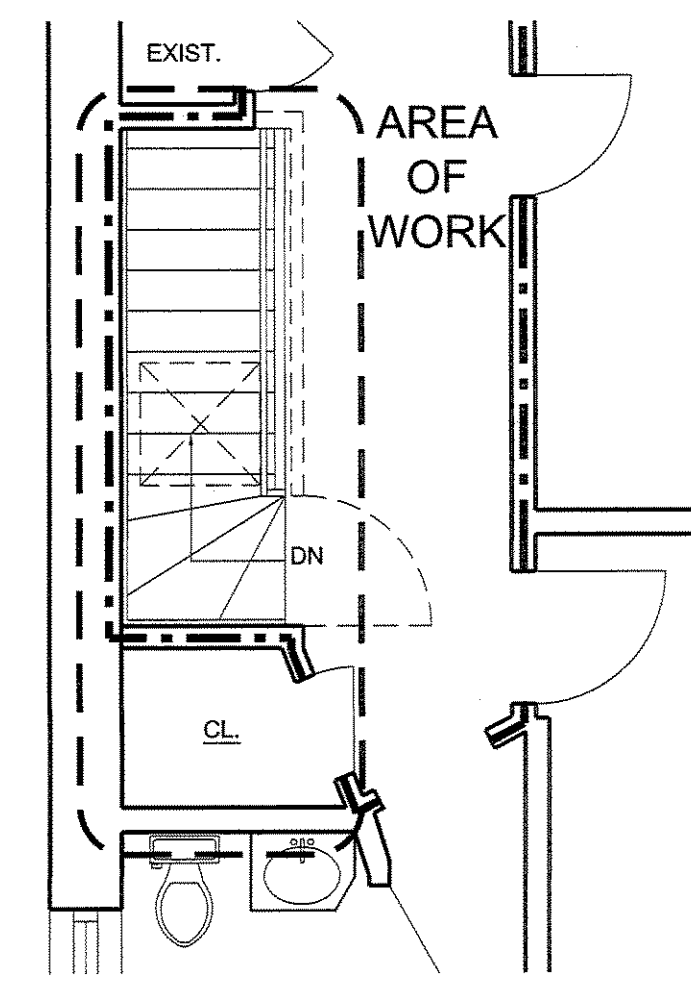




01 CELLAR PLAN  
SCALE: 1/4"=1'-0"

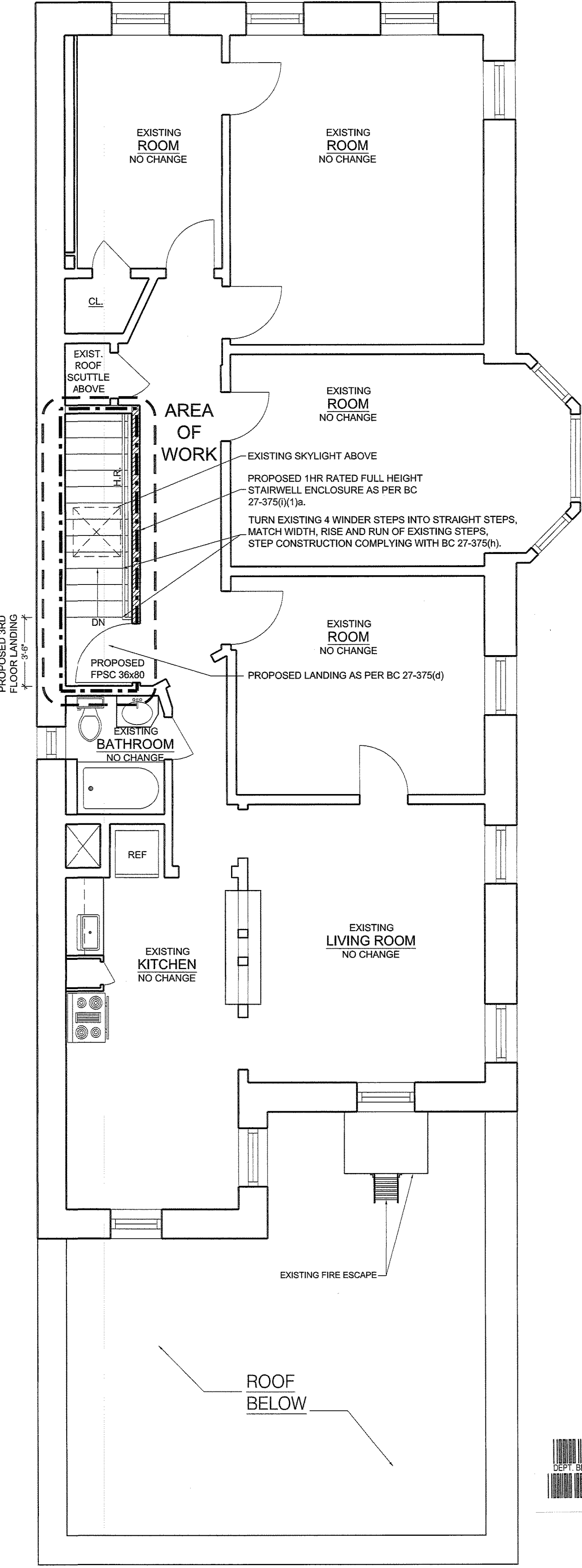


02 SECOND FLOOR PLAN  
SCALE: 1/4"=1'-0"

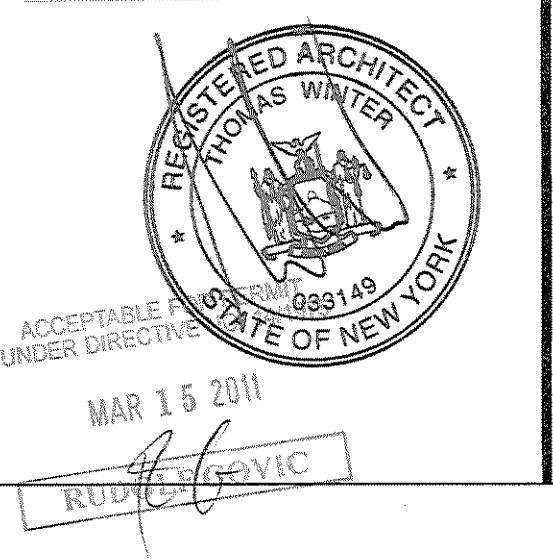
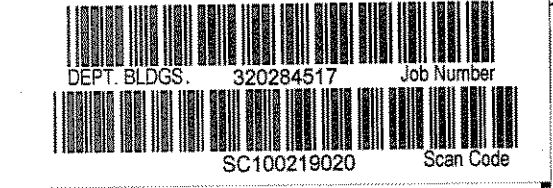


03 EXSTG THIRD FLOOR  
SCALE: 1/4"=1'-0"

NOTE:  
ROOF ACCESS NOT REQUIRED FOR OCCUPANCY GROUP J3 AS PER BC 27-375(k).



04 PROPOSED THIRD FLOOR PLAN  
SCALE: 1/4"=1'-0"



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Revision No.	Date	By	Description

Project: Alteration  
102 Norman Avenue  
Brooklyn, NY 11222

Client: ...

Scale: AS NOTED

Drawing: 03,03

Date: 3-11-2011

Drawn: MN

Checked: ...

Per Code: A-200.00

B-NOR.102